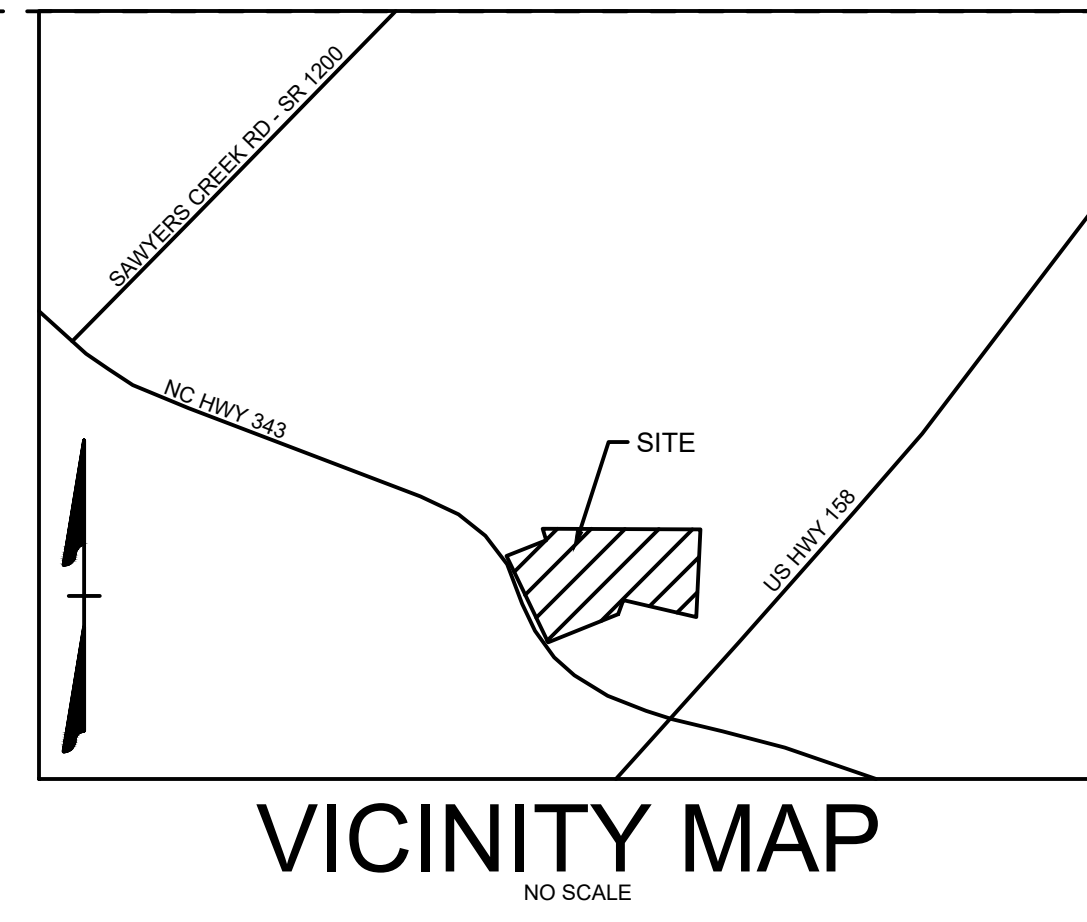


- SITE DATA:**
- OWNER:**
CAMDEN COUNTY
KEN BOWMAN, COUNTY MANAGER
P.O. BOX 190
CAMDEN, NC 27921
K@CAMDEN.COUNTY.NC.GOV
252.338.6363
 - SITE INFORMATION:**
PIN: 028935025630000
D.B. 270 PG. 122
SITE ZONING: HC (HIGHWAY COMMERCIAL)
SITE AREA: 8.07 AC (INCLUDING 0.31 ACRES) 404 WETLANDS
SITE ADDRESS: 118 NC HWY 343 NORTH
CAMDEN, NC 27921
 - MINIMUM SETBACKS:**
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SIDE: 5'
REAR: 20'
CORNER: 25'
 - PARKING REQUIREMENTS (PHASE 1 ONLY):**
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LIBRARY: 5,025 SF @ 1400 SF = 13 SPACES
TOTAL REQUIRED = 35 SPACES
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 - DISTURBED AREA WILL NOT EXCEED 7.6 ACRES**
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704/731-3000

RALEIGH
6131 Falls of Neuse Rd., Suite 204
Raleigh, NC 27609
919/373-6400

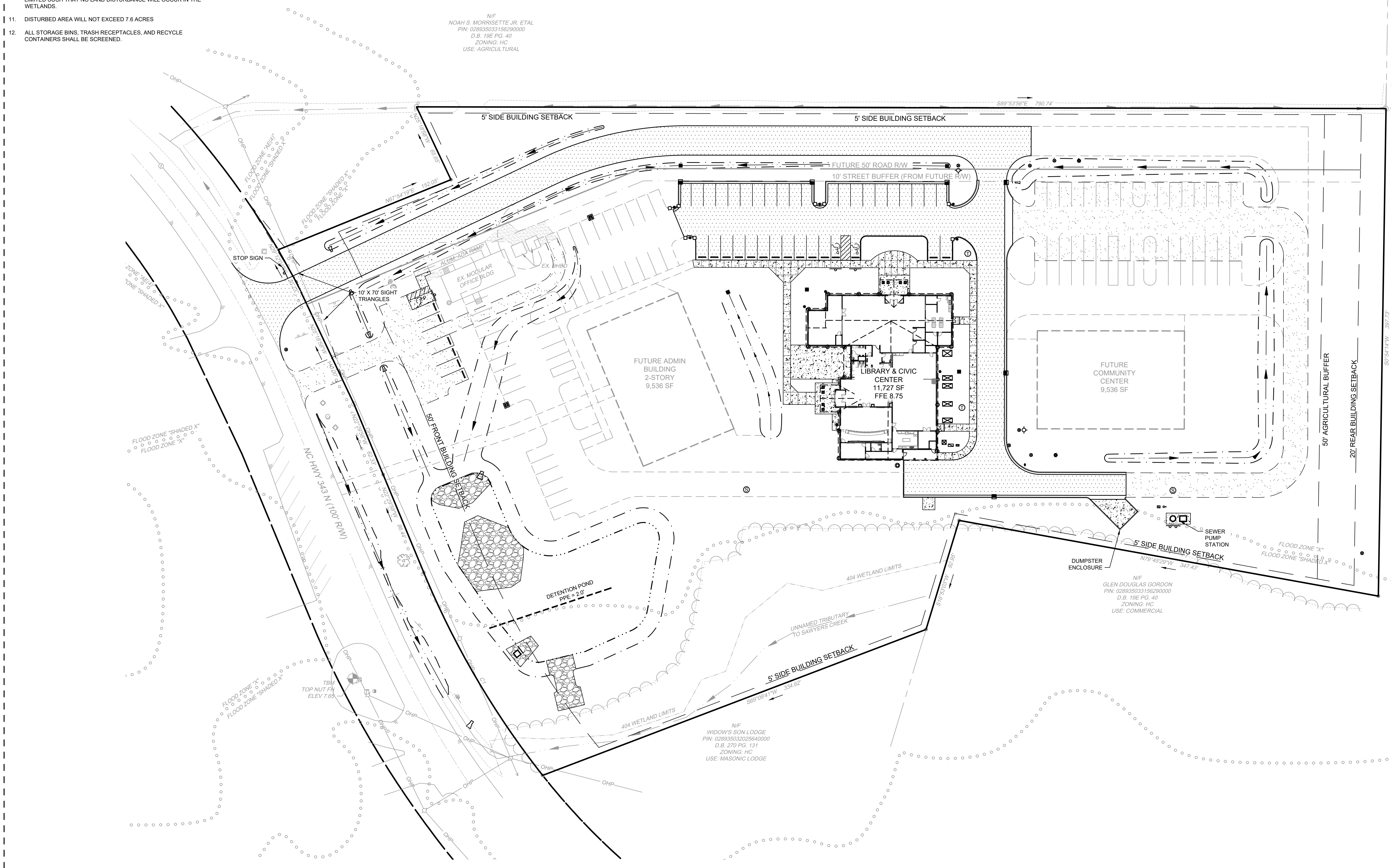
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Lewington, NC 28078
903/556-0007

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NC LICENCE NO. C-1652

CAMDEN COUNTY
NORTH CAROLINA - USA
Boundless Opportunities.

Camden Co Administrative Complex
PROJECT TITLE



LEGEND

- BENCHMARK
- FOUND PIPE
- CALCULATED POINT
- EX. GAS VALVE
- EX. POWER POLE
- EX. FIRE HYDRANT
- EX. WATER VALVE
- EX. WATER METER
- EX. SEWER MANHOLE
- EX. SEWER CLEANOUT
- EX. SEWER METER
- EX. CABLE TV PEDESTAL
- EX. PHONE PEDESTAL
- EX. SIGN
- PROP. LIGHT POLE
- PROP. COMM HAND HOLE
- PROP. FIRE HYDRANT
- PROP. 3/4" WATER METER
- PROP. FDC
- PROP. WATER VALVE
- PROP. YARD HYDRANT
- PROP. SEWER MANHOLE
- PROP. SEWER CLEANOUT
- PROP. STORM CLEANOUT
- PROP. ROOF DRAIN
- PROP. CURB INLET
- PROP. DROP INLET
- EX. TREE
- EX. GRAVEL
- EX. CONCRETE
- PROP. PAVEMENT
- PROP. CONCRETE
- PROP. GRAVEL
- PROPERTY BOUNDARY
- ADJOINING PROPERTY BOUNDARY
- RIGHT OF WAY
- EX. EDGE OF PAVEMENT
- EX. CENTERLINE OF ROAD
- EX. FENCE
- EX. TOP OF BANK
- EX. CENTERLINE OF SWALE
- EX. WOODS LINE
- EX. FLOODZONE
- EX. OVERHEAD POWER
- EX. 404 WETLAND LIMITS
- PROP. EDGE OF PAVEMENT
- PROP. EDGE OF CONCRETE SETBACK
- PROP. DITCH/SWALE
- PROP. TOP OF BANK
- POND PERMANENT POOL (EDGE OF WATER)
- RI/RAP

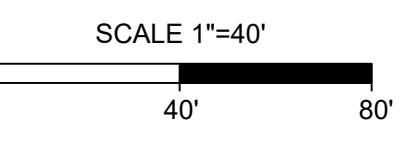
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3. DO NOT SCALE OFF DIMENSIONS.

REVISIONS

NO.	DATE	DESCRIPTION
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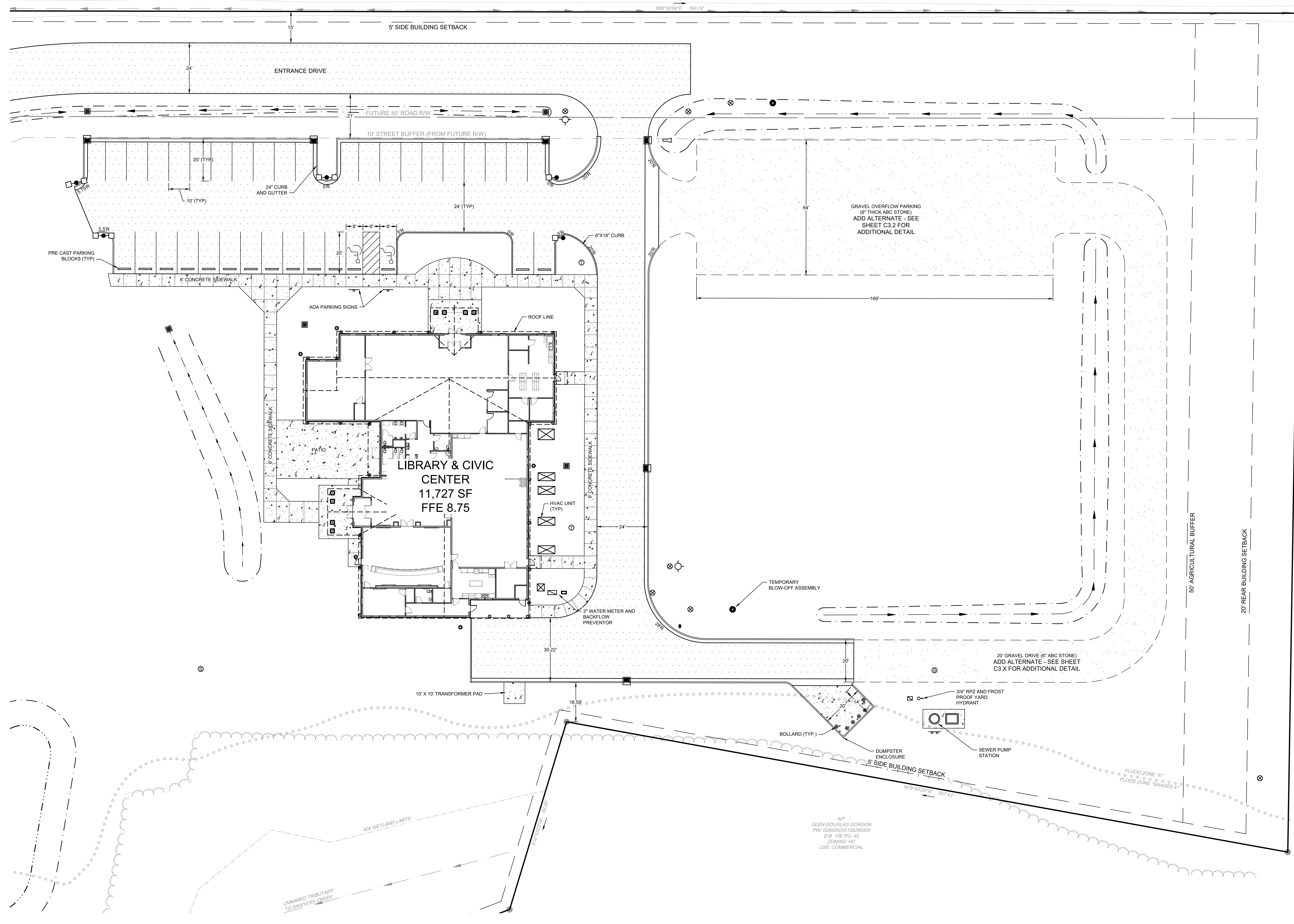
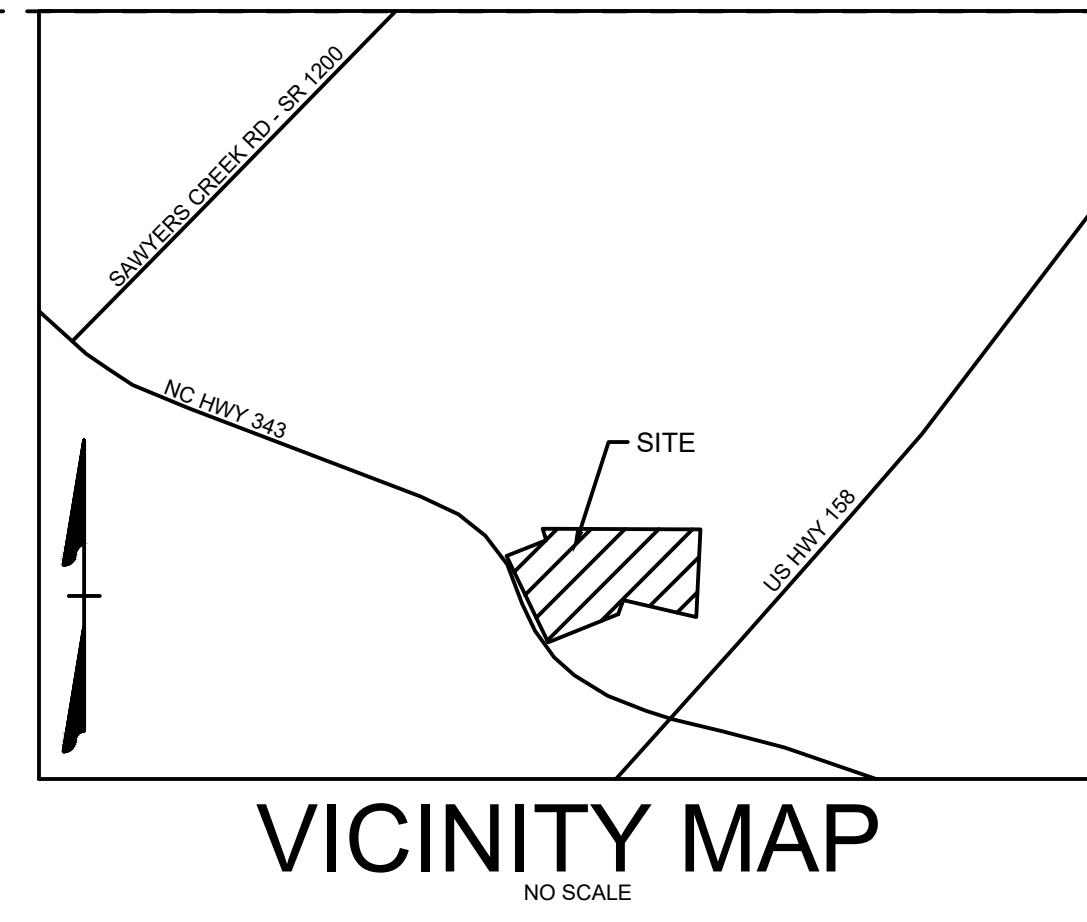


BID DRAWINGS
PROJECT PHASE
2008
BOOMERANG DESIGN PROJECT NUMBER
12.15.2020
DRAWING RELEASE DATE

SITE PLAN OVERVIEW
SHEET TITLE
C2.0
SHEET



S:\10946119 - Camden County Administrative Complex\CAD\119-C2-C2.0 SITE.dwg [Plotted on 1/25/2021 11:47 AM] by Kim Hamby



LEGEND

- BENCHMARK
- FOUND PIPE
- CALCULATED POINT
- EX. GAS VALVE
- EX. POWER POLE
- EX. FIRE HYDRANT
- EX. WATER VALVE
- EX. WATER METER
- EX. SEWER MANHOLE
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- PROP. LIGHT POLE
- PROP. COMM HAND HOLE
- PROP. FIRE HYDRANT
- PROP. 3/4\"/>
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- PROP. SEWER MANHOLE
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- PROP. DROP INLET
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- EX. GRAVEL
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- EX. OVERHEAD POWER
- EX. 404 WETLAND LIMITS
- PROP. EDGE OF PAVEMENT
- PROP. EDGE OF CONCRETE
- SETBACK
- PROP. DITCH/SWALE
- PROP. TOP OF BANK
- PROP. PERMANENT POOL (EDGE OF WATER)
- RIP RAP



Camden Co Administrative Complex
PROJECT TITLE



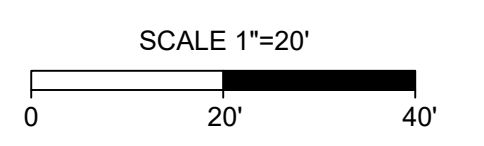
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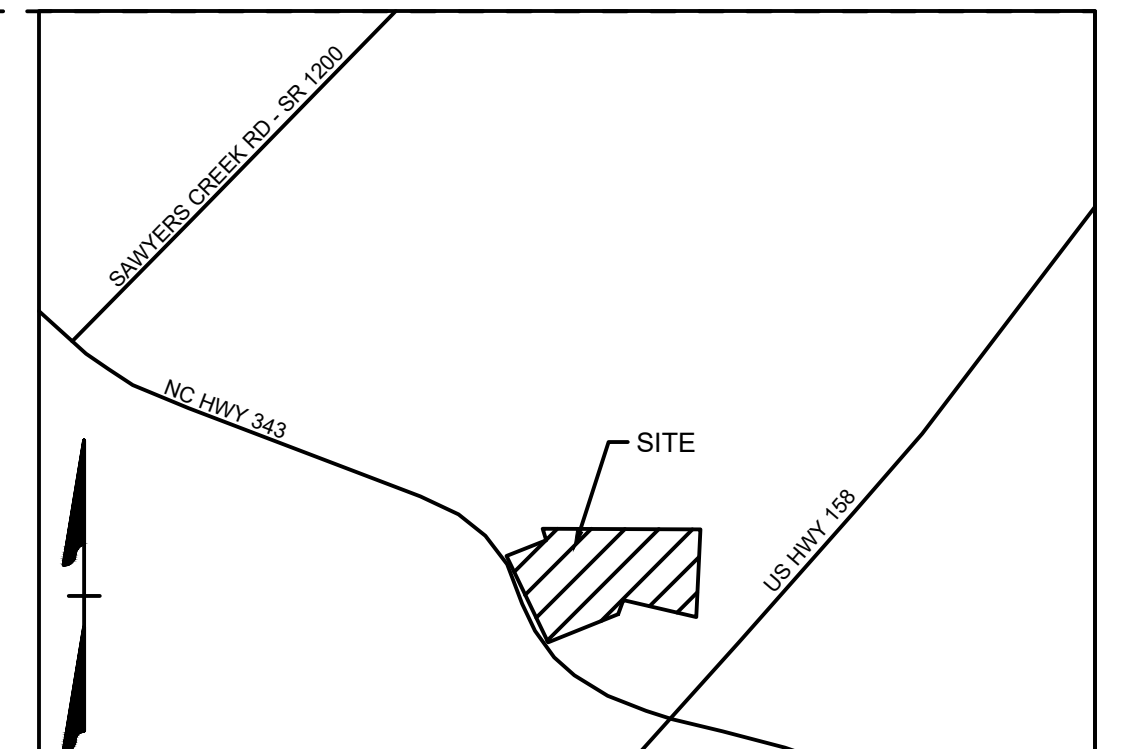
BID DRAWINGS
PROJECT PHASE
2008
BOOMERANG DESIGN PROJECT NUMBER
12.15.2020
DRAWING RELEASE DATE

SITE PLAN
SHEET TITLE
C2.2
SHEET



S:\10946119 - Camden County Administrative Complex\CAD\192-C2.2-SITE.dwg | Plotted on: 1/25/2021 11:47 AM by Kim Hamby

- SITE DATA:**
- OWNER:**
CAMDEN COUNTY
KEN BOWMAN, COUNTY MANAGER
P.O. BOX 190
CAMDEN, NC 27921
K@CAMDEN.COUNTY.NC.GOV
252.338.6363
 - SITE INFORMATION:**
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D.B. 270 PG. 122
SITE ZONING: HC (HIGHWAY COMMERCIAL)
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VICINITY MAP
NO SCALE

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Shelby, NC 28150
704/406-6000

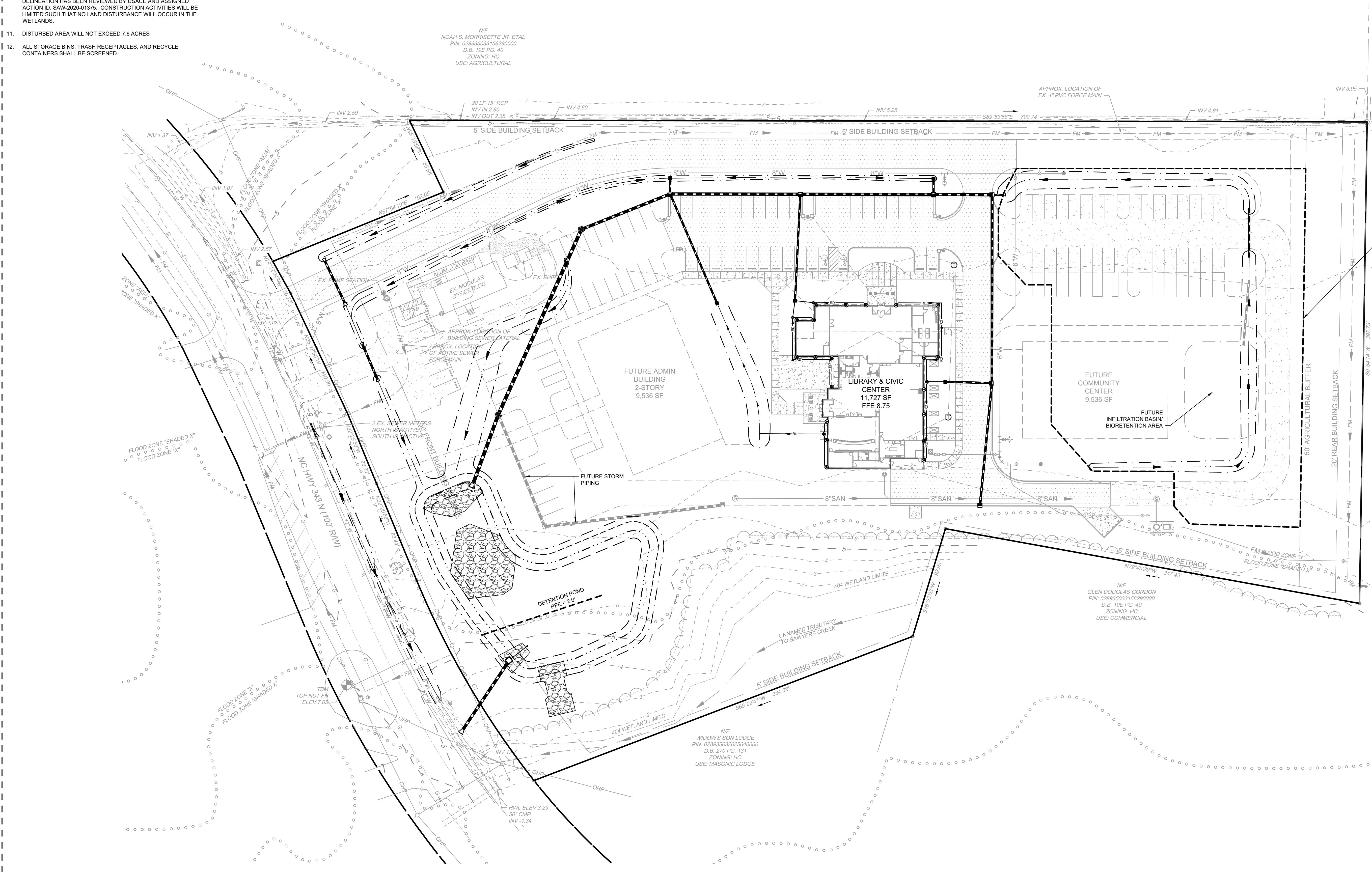
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1805 West City Drive, Unit E | Elizabeth City, NC 27909
TEL: 252-621-5030 FAX: 252-562-6974 www.timmons.com
NC LICENCE NO. C-1652



ADD ALTERNATE GRAVEL PARKING AND DRIVE (SEE SHEET C3.2)

LEGEND

- BENCHMARK
- FOUND PIPE
- CALCULATED POINT
- EX. GAS VALVE
- EX. POWER POLE
- EX. FIRE HYDRANT
- EX. WATER VALVE
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- RIGHT OF WAY
- EX. EDGE OF PAVEMENT
- EX. CENTERLINE OF ROAD
- EX. FENCE
- EX. TOP OF BANK
- EX. CENTERLINE OF SWALE
- EX. MAJOR CONTOUR
- EX. MINOR CONTOUR
- EX. WOODLINE
- EX. 8" WATER LINE
- EX. 12" WATER LINE
- EX. SEWER FORCE MAIN
- EX. FLOODZONE
- EX. OVERHEAD POWER
- EX. NATURAL GAS
- EX. 404 WETLAND LIMITS
- PROP. EDGE OF PAVEMENT
- PROP. EDGE OF CONCRETE
- PROP. SETBACK
- PROP. CONDUIT
- PROP. 2" WATER LINE
- PROP. 6" WATER LINE
- PROP. 8" WATER LINE
- PROP. 8" SANITARY SEWER LINE
- PROP. SANITARY SEWER FORCEMAIN
- PROP. DITCH CENTERLINE
- PROP. TOP OF BANK
- PROP. ROOF DRAIN LEADER
- PROP. MAJOR CONTOUR
- PROP. MINOR CONTOUR
- POND TEMPORARY POOL
- POND PERMANENT POOL (EDGE OF WATER)
- RIP RAP
- FLOW DIRECTION ARROW
- PROPOSED SPOT GRADE



Camden Co Administrative Complex
PROJECT TITLE



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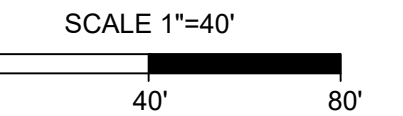
REVISIONS

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1	1-25-21	VE. RELEASED FOR BIDS

BID DRAWINGS
PROJECT PHASE
2008
BOOMERANG DESIGN PROJECT NUMBER
12.15.2020
DRAWING RELEASE DATE

GRADING AND DRAINAGE PLAN OVERVIEW
SHEET TITLE

C3.0
SHEET



S:\10946119 - Camden County Administrative Complex\CAD\Sheet\C3.0\GRD.dwg | Plotted on 1/25/2021 11:53 AM | 19 Kim Harby

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- OWNER:**
CAMDEN COUNTY
KEN BOWMAN, COUNTY MANAGER
P.O. BOX 190
CAMDEN, NC 27921
KBOWMAN@CAMDENCOUNTY.NC.GOV
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5,025 SF @ 1400 SF = 13 SPACES

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GENERAL NOTES:

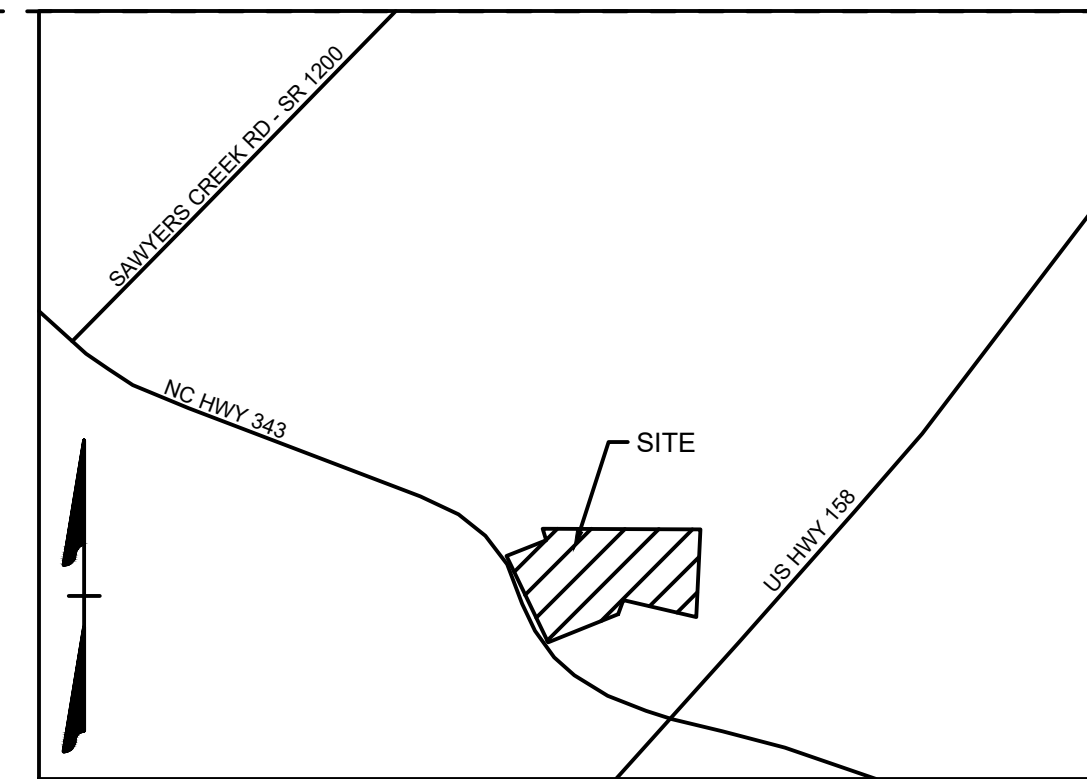
- EXISTING UNDERGROUND UTILITIES ARE SHOWN BASED ON INFORMATION AVAILABLE TO THE ENGINEER AND SHOULD NOT BE CONSIDERED COMPLETE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES (PUBLIC OR PRIVATE) THAT MAY EXIST IN THE AREA OF CONSTRUCTION PRIOR TO COMMENCEMENT OF CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING, AT HIS EXPENSE, ANY UTILITIES DAMAGED DURING CONSTRUCTION. CONTRACTOR SHALL CONTACT NC ONE CALL AT 811 FOR UTILITY LOCATION.
- IN THE EVENT THAT THE CONTRACTOR ENCOUNTERS SITE CONDITIONS THAT ARE DIFFERENT THAN DEPICTED ON THESE PLANS, THE CONTRACTOR SHALL IMMEDIATELY STOP WORK AND NOTIFY THE ENGINEER OF THE PROBLEM. THE ENGINEER OR OWNER ARE NOT FINANCIALLY RESPONSIBLE FOR SUCH WORK STOPPAGES OR TIME DELAYS RESULTING FROM ADDRESSING THE PROBLEM. THE CONTRACTOR ACCEPTS THIS BY ACCEPTING A CONTRACT TO PERFORM THIS WORK.
- ALL MATERIALS AND CONSTRUCTION METHODS SHALL CONFORM WITH CURRENT STANDARDS AND SPECIFICATIONS OF THE NORTH CAROLINA DEPARTMENT OF TRANSPORTATION, NCDOT, AND THE CAMDEN COUNTY PUBLIC WORKS DEPARTMENT.
- A SEDIMENT & EROSION CONTROL PLAN HAS BEEN APPROVED FOR THIS PROJECT. THE UTILITY CONTRACTOR SHALL NOT DISTURB THE EROSION CONTROL DEVICES AS INSTALLED FOR THIS PROJECT. ANY RELOCATION OF EROSION CONTROL DEVICES SHALL BE DONE BY ADVANCE WRITTEN NOTIFICATION TO THE SITE GENERAL CONTRACTOR AND THE ENGINEER. THE UTILITY CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO LIMIT EROSION & SEDIMENT TRANSPORT IN HIS WORK AREA.
- MINIMUM CLEARANCES FOR WATER, SEWER AND STORM DRAINAGE SHALL MEET THE FOLLOWING CRITERIA: HORIZONTAL: 10' (WATER ABOVE SEWER) VERTICAL: 18" (WATER ABOVE SEWER) (WHERE WATER AND SEWER CROSS AND WATER IS NOT ABOVE SEWER OR DOES NOT HAVE 18" CLEARANCE, BOTH WATER AND SEWER PIPES SHALL BE DUCTILE IRON FOR 10 FEET ON EACH SIDE OF THE CROSSING AND FULL JOINTS OF PIPE SHALL BE CENTERED ON THE CROSSING) (WHERE WATER AND STORM DRAINAGE CROSS AND WATER IS NOT ABOVE STORM DRAINAGE, WATER PIPES SHALL BE DUCTILE IRON FOR 10 FEET ON EACH SIDE OF THE CROSSING WITH A FULL JOINT CENTERED AT THE CROSSING) (WHERE WATER AND STORM DRAINAGE CROSS AND WATER IS NOT ABOVE STORM DRAINAGE, WATER PIPES SHALL BE DUCTILE IRON FOR 10 FEET ON EACH SIDE OF THE CROSSING WITH A FULL JOINT CENTERED AT THE CROSSING) (SEPARATION BETWEEN SEWER AND STORM DRAIN CAN BE REDUCED BY UTILIZING DUCTILE IRON SEWER PIPE)
- NO PIPE MATERIAL SUBSTITUTIONS SHALL BE MADE WITHOUT PRIOR APPROVAL FROM THE ENGINEER.

WATERMAIN NOTES:

- THE SOUTH CAMDEN WATER AND SEWER DISTRICT WILL PROVIDE WATER SERVICE FOR THIS PROJECT.
- ALL INSPECTIONS SHALL BE COORDINATED WITH THE CAMDEN COUNTY PUBLIC WORKS DEPARTMENT AND THE ENGINEER A MINIMUM OF 48 HOURS IN ADVANCE.
- ALL WATERMANS SHALL BE EITHER SDR-21 PVC, C900 PVC OR DUCTILE IRON AS SHOWN ON PLANS. ALL PIPE SHALL COMPLY WITH THE REQUIREMENTS OF AWWA STANDARDS AND THE NATIONAL SANITATION FOUNDATION. ALL PIPE MUST BEAR THE NSF LOGO FOR POTABLE WATER.
- WATERMANS MAY BE INSTALLED UNDER STORM DRAINS WITHOUT FITTINGS, WHERE THE CHANGE IN VERTICAL ELEVATION IS TWO FEET OR LESS.
- WATERMANS INSTALLED UNDER STORM DRAINS SHALL HAVE A MINIMUM SEPARATION OF 18" BETWEEN WATER LINE AND STORM DRAIN AND WATERMAIN SHALL BE DUCTILE IRON, WHERE PRACTICAL, INSTALL A FULL JOINT OF 20 LF DUCTILE IRON PIPE CENTERED UNDER THE STORM DRAIN, WHERE THE WATERMAIN BENDS INTO A VERTICAL LEG WITHIN 10 HORIZONTAL FEET OF THE STORM DRAIN, THE VERTICAL LEG SHALL BE DUCTILE IRON.
- THRUST BLOCKING SHALL BE INSTALLED ON ALL BENDS OF 22 1/2' OR GREATER. (SEE THE SPECIFICATIONS AND DETAILS ON THRUST BLOCKINGS.)
- THE CONTRACTOR SHALL FIELD VERIFY THE SIZE AND MATERIAL OF EXISTING MAINS PRIOR TO ORDERING MATERIALS.
- DURING CONSTRUCTION, NO PIPE SHALL BE COVERED UNTIL INSPECTED BY THE CAMDEN COUNTY PUBLIC WORKS DEPARTMENT. THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT 48 HOURS PRIOR TO COMMENCEMENT OF WORK TO COORDINATE INSPECTION OF WATERLINE.
- THE CONTRACTOR SHALL SATISFY ALL BOND REQUIREMENTS OF THE DEPARTMENT OF TRANSPORTATION PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
- ALL WATER LINES SHALL HAVE A MINIMUM OF 36" COVER.
- ALL PIPES AND SERVICES TO BE RUNNING ALONG AND WITH THE PIPE A CONTINUOUS LENGTH OF #12 SOLID COPPER WIRE AND A 3" WIDE TRACER TAPE AT ONE (1) FOOT BELOW THE FINISHED GRADE OF THE EXCAVATION FOR THE PIPE.
- SEWER AND STORM DRAINAGE SHALL BE PRESSURE TESTED AND CHLORINATED AS REQUIRED BY NCDOT. TESTING SHALL BE INSPECTED BY A REPRESENTATIVE OF THE CAMDEN COUNTY PUBLIC WORKS DEPARTMENT AND/OR THE ENGINEER.

SEWER NOTES:

- DISTANCES FOR THE SANITARY SEWER ARE FROM CENTER TO CENTER OF MANHOLE.
- ALL GRAVITY SEWER SHALL BE EITHER SDR-26 PVC OR DUCTILE IRON AS SHOWN ON PLANS. ALL PIPE SHALL MEET THE REQUIREMENTS OF AWWA AND ASTM.
- ALL MANHOLES WILL HAVE AN 8" MIN. THICK CONCRETE BASE THAT EXTENDS AT LEAST 6" FROM THE OUTSIDE OF THE RISER SECTION.
- ALL JOINTS OF THE MANHOLES SHALL BE WRAPPED WITH A BUTYL MASTIC JOINT SEALANT WRAP.
- GRAVITY SEWER PIPE SHALL BE TESTED FOR DEFLECTION A MINIMUM OF 30 DAYS AFTER TRENCH BACKFILL HAS BEEN COMPLETED. IN LIEU OF WAITING 30 DAYS, TESTING CAN COMMENCE UPON RECEIVING CERTIFICATION THAT TRENCH COMPACTION MEETS A MINIMUM OF 90% DENSITY.
- ALL GRAVITY SEWER SHALL BE LEAK TESTED BY MEANS OF A LOW PRESSURE AIR TEST.
- ALL TESTING SHALL BE WITNESSED BY A REPRESENTATIVE OF THE CAMDEN COUNTY PUBLIC WORKS DEPARTMENT AND/OR THE ENGINEER.



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PROJECT: 2015 S. Washington St., Suite 200, Shelby, NC 28150, 704/606-6000

CHARLOTTE: 1230 W. Morehead St., Suite 214, Charlotte, NC 28208, 704/731-3000

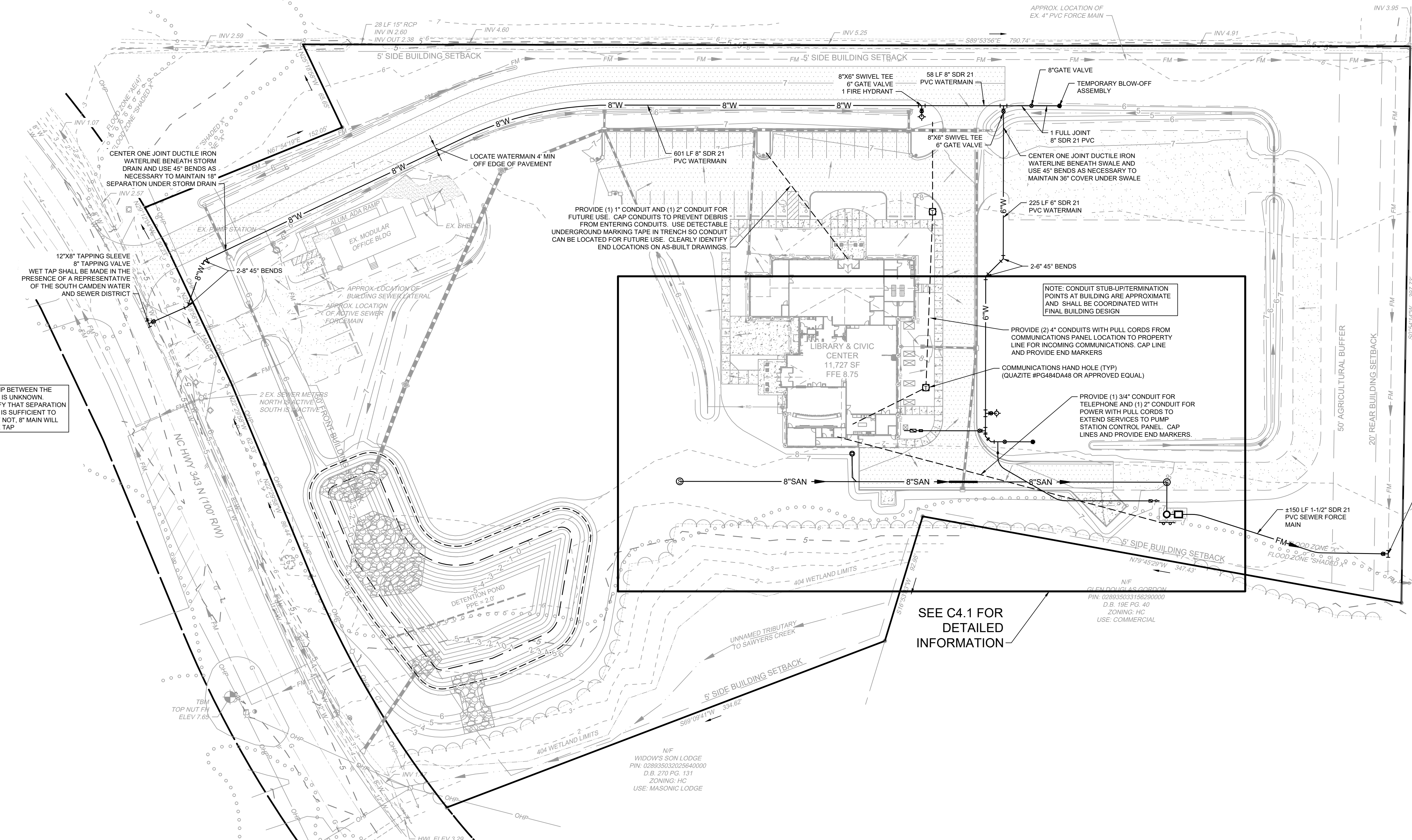
LEWISTON: 1070 S. Lake Dr., Suite J, Lewiston, NC 28150, 803/556-0007

RALEIGH
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NC LICENCE NO. C-1652

NIP
NOAH S. MORSETTE, JR. ETAL
PIN: 02893503152260000
D.B. 19E PG. 40
ZONING: HC
USE: AGRICULTURAL



LEGEND

- BENCHMARK
- FOUND PIPE
- CALCULATED POINT
- EX. GAS VALVE
- EX. POWER POLE
- EX. FIRE HYDRANT
- EX. WATER VALVE
- EX. WATER METER
- EX. SEWER MANHOLE
- EX. CABLE TV PEDESTAL
- EX. PHONE PEDESTAL
- EX. SIGN
- PROP. LIGHT POLE
- PROP. COMM HAND HOLE
- PROP. FIRE HYDRANT
- PROP. WATER METER
- PROP. FDC
- PROP. WATER VALVE
- PROP. YARD HYDRANT
- PROP. SEWER MANHOLE
- PROP. SEWER CLEANOUT
- PROP. STORM CLEANOUT
- PROP. ROOF DRAIN
- PROP. CURB INLET
- PROP. DROP INLET
- PROP. STORM PIPE
- EX. TREE
- EX. GRAVEL
- EX. CONCRETE
- PROP. PAVEMENT
- PROP. CONCRETE
- PROP. CONCRETE
- PROPERTY BOUNDARY
- ADJOINING PROPERTY BOUNDARY
- RIGHT OF WAY
- EX. EDGE OF PAVEMENT
- EX. CENTERLINE OF ROAD
- EX. FENCE
- EX. TOP OF BANK
- EX. CENTERLINE OF SWALE
- EX. MAJOR CONTOUR
- EX. MINOR CONTOUR
- EX. WOODS LINE
- EX. 8" WATER LINE
- EX. 12" WATER LINE
- EX. SEWER FORCE MAIN
- EX. FLOODZONE
- EX. OVERHEAD POWER
- EX. NATURAL GAS
- EX. 404 WETLAND LIMITS
- PROP. EDGE OF PAVEMENT
- PROP. EDGE OF CONCRETE
- PROP. SETBACK
- PROP. CONDUIT
- PROP. 2" WATER LINE
- PROP. 6" WATER LINE
- PROP. 8" WATER LINE
- PROP. 8" SANITARY SEWER LINE
- PROP. SANITARY SEWER FORCEMAIN
- PROP. DITCH CENTERLINE
- PROP. TOP OF BANK
- PROP. ROOF DRAIN LEADER
- PROP. MAJOR CONTOUR
- PROP. MINOR CONTOUR



Camden Co Administrative Complex
PROJECT TITLE



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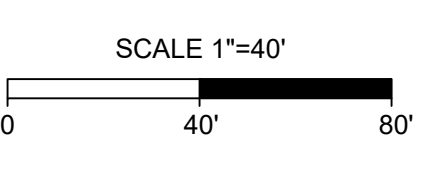
REVISIONS

NO.	DATE	DESCRIPTION
1	1-25-21	VE. RELEASED FOR BIDS

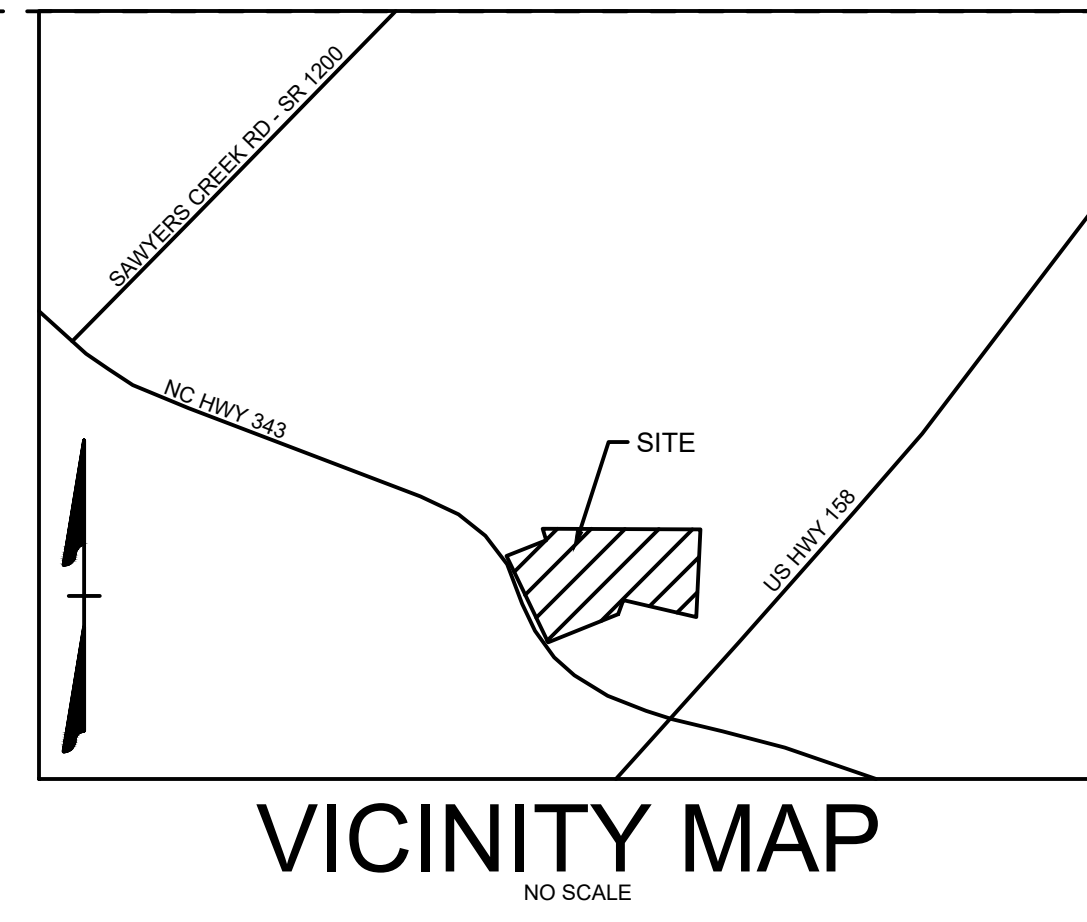
BID DRAWINGS
PROJECT PHASE
2008
BOOMERANG DESIGN PROJECT NUMBER
12.15.2020
DRAWING RELEASE DATE

UTILITY PLAN OVERVIEW
SHEET TITLE

C4.0
SHEET



- SITE DATA:**
- OWNER:
CAMDEN COUNTY
KEN BOWMAN, COUNTY MANAGER
P.O. BOX 190
CAMDEN, NC 27921
KBOWMAN@CAMDENCOUNTY.NC.GOV
252.338.6363
 - SITE INFORMATION:
PIN: 028593025630000
D.B. 279 PG. 122
SITE ZONING: HC (HIGHWAY COMMERCIAL)
SITE AREA: 8.07 AC (INCLUDING 0.31 ACRES 404 WETLANDS)
SITE ADDRESS: 118 NC HWY 343 NORTH
CAMDEN, NC 27921
 - MINIMUM SETBACKS:
FRONT: 5'
SIDE: 5'
REAR: 20'
CORNER: 25'
 - PARKING REQUIREMENTS (PHASE 1 ONLY):
COMMUNITY CENTER: 8,702 SF @ 11000 SF = 22 SPACES
LIBRARY: 5,025 SF @ 11400 SF = 13 SPACES
TOTAL REQUIRED = 35 SPACES
TOTAL PROVIDED (PHASE 1) = 35 SPACES (INCLUDING 2 ADA SPACES)
50 FUTURE SPACES SHOWN BASED ON 1 SPACE PER 300 SF OF BUILDING
 - THIS SITE IS LOCATED IN FLOOD ZONE "X" AND "SHADED X" ACCORDING TO THE FEMA FLOOD MAP 3720893500K, DATED DECEMBER 21, 2018.
 - ON-SITE COVERAGE CALCULATIONS:
BLDG ROOF: 13,084 SF
SIDEWALK: 5,763 SF
PAVEMENT: 59,000 SF
OTHER: 580 SF
OFF-SITE: 1,378 SF
TOTAL: 79,805 SF (22.7% OF SITE)
FUTURE: 73,346 SF (20.9% OF SITE)
 - BOUNDARY INFORMATION TAKEN FROM PLAT TITLED: "RECOMBINATION PLAT FOR CAMDEN COUNTY" BY STEPHEN L. CARDWELL, PLS DATED JANUARY 29, 2019.
 - CONTRACTOR SHALL INSPECT AND MAINTAIN AS NEEDED ALL EROSION CONTROL DEVICES ON A WEEKLY BASIS AND AFTER EACH MAJOR STORM EVENT. FAILURE TO KEEP EROSION CONTROL DEVICES IN GOOD WORKING ORDER MAY RESULT IN THE ISSUANCE OF A STOP WORK ORDER.
 - ANY FILL BROUGHT ON SITE SHALL BE FROM AN APPROVED SITESIDE. ANY MATERIAL REMOVED FROM THE SITE SHALL BE DISPOSED ON IN A SINGLE APPROVED LOCATION.
 - THERE ARE 404 WETLANDS ON THE PROJECT SITE. THE DELINEATION HAS BEEN REVIEWED BY USACE AND ASSIGNED ACTION ID: SAW-2020-01375. CONSTRUCTION ACTIVITIES WILL BE LIMITED SUCH THAT NO LAND DISTURBANCE WILL OCCUR IN THE WETLANDS.
 - DISTURBED AREA WILL NOT EXCEED 7.6 ACRES
 - ALL STORAGE BINS, TRASH RECEPTACLES, AND RECYCLE CONTAINERS SHALL BE SCREENED.



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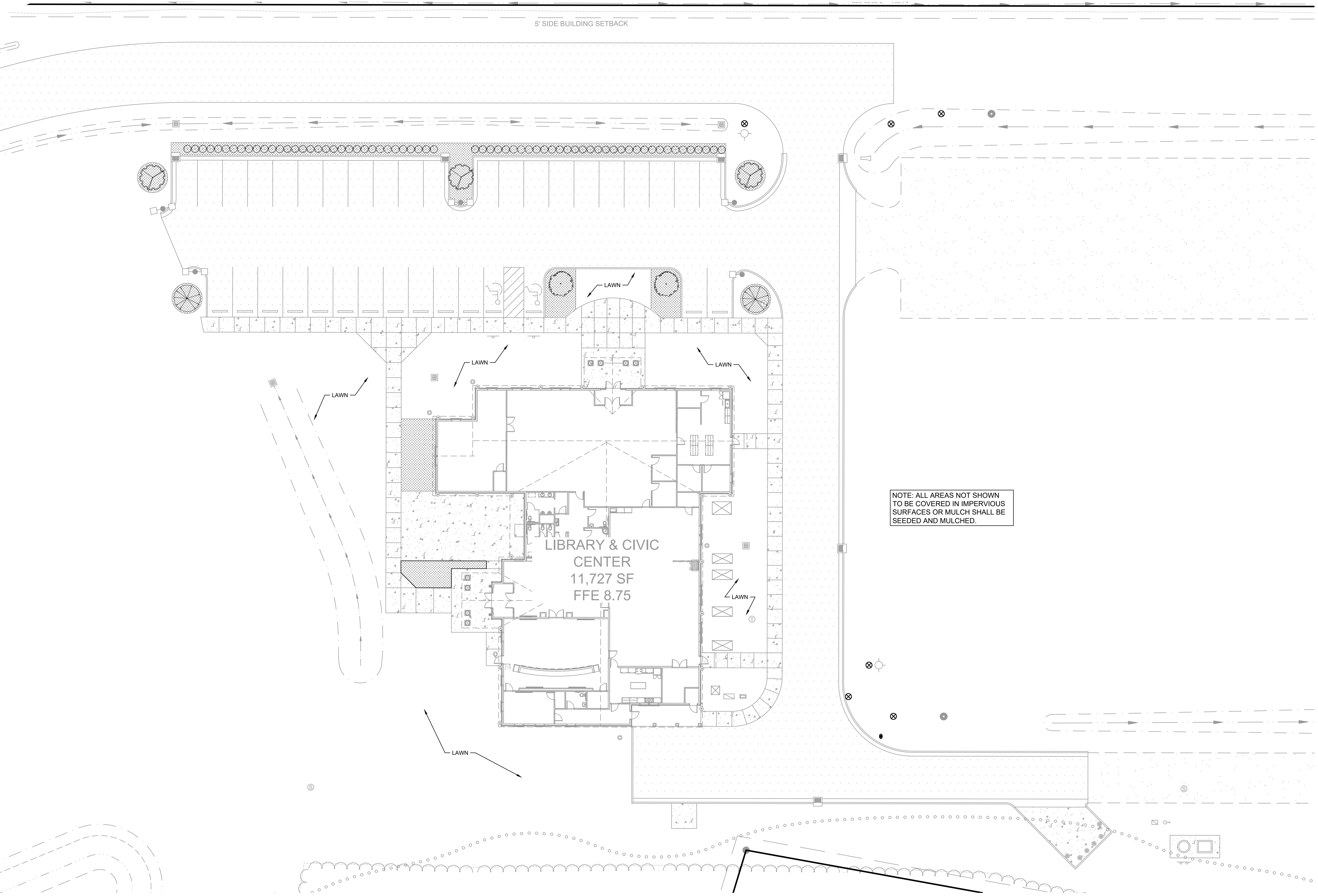
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LANDSCAPE LEGEND

PLANT NAME	QTY
WILLOW OAK QUERCUS PHELLOS	3
RED MAPLE ACER RUBRUM	2
AMERICAN HOLLY ILEX OPACA	2
DWARF YALPION HOLLY ILEX VOMITORIA 'NANA'	40
AUTUMN BONFIRE ENCORE AZALEA (DWARF) RHODODENDRON 'ROBLEZA'	12
GLOSSY ABELIA ABELIA X GRANDIFLORA	14
MULCH	

CANOPY TREES SHALL BE A MINIMUM OF 8' IN HEIGHT AND HAVE A MINIMUM CALIPER OF 2" (MEASURED 6-10" ABOVE GRADE).
UNDERSTORY TREES SHALL BE A MINIMUM OF 4' IN HEIGHT AND HAVE A MINIMUM CALIPER OF 1" (MEASURED 6" ABOVE GRADE).
SHRUBS SHALL BE A MINIMUM OF 18" IN HEIGHT (3 GAL).
LANDSCAPE AREAS AROUND TREES AND SHRUBS WHERE NO GRASS IS PLANTED SHALL BE COVERED WITH NATURAL MULCH AT A MINIMUM DEPTH OF 3".
LANDSCAPE AREAS SHALL BE WATERED REGULARLY TO INSURE SURVIVABILITY OF ALL PLANTINGS.
LANDSCAPING SHALL BE INSTALLED SUCH THAT 2" OF SEPARATION IS MAINTAINED BETWEEN MATURE PLANTS AND PAVEMENT.
TREES SHALL BE PLANTED A MINIMUM OF 10' FROM FROM ANY LIGHT POLE AND 5' FROM ANY SIDEWALK.
SUBSTITUTIONS SHALL BE PRIOR APPROVED BY THE PLANNING DEPARTMENT.



Camden Co Administrative Complex
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LANDSCAPE PLAN

SHEET TITLE
C5.0
SHEET

